

REVISED FINAL PRD FOR EAGLE RIDGE PRD CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA SEPTEMBER 9, 2019 REVISED: OCTOBER 4, 2019



UNITED STATES GEOLOGICAL SURVEY, PENNSYLVANIA
MARS QUADRANGLE
LOCATION MAP
SCALE: 1"=2000'

OWNER

THE EAGLE RIDGE GROUP LLC
3751 GIBSONIA ROAD
GIBSONIA, PA 15044
GEORGE SAAD, JR.
PHONE: (412) 418-8520

SITE ENGINEER

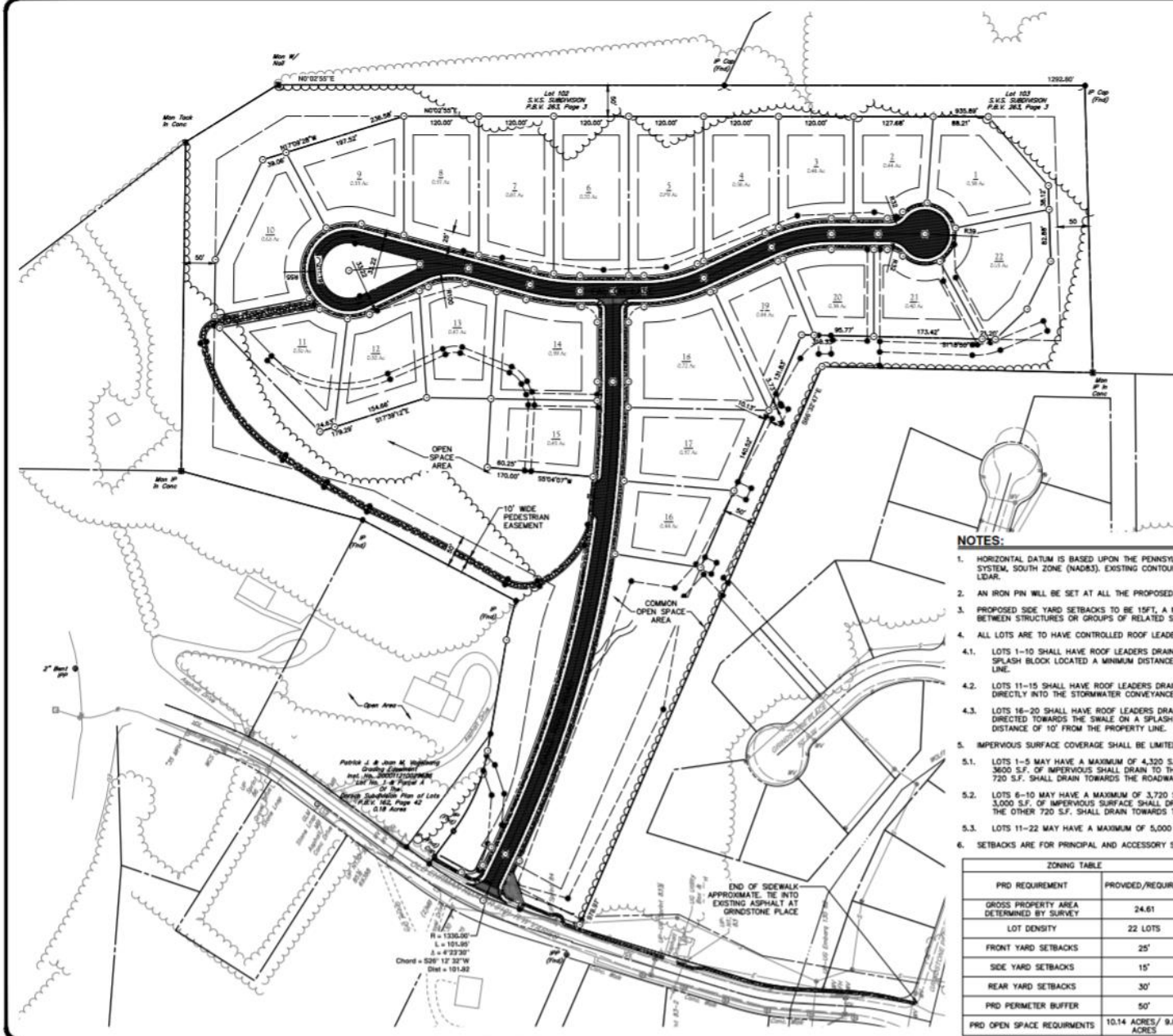
HERBERT, ROWLAND & GRUBIC, INC.
200 WEST KENSINGER DRIVE, SUITE 400
CRANBERRY TOWNSHIP, PA 16066
CONTACT: VIRGINIA LOANEY, R.L.A.
PHONE: (724) 779-4777
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SURVEYOR

HERBERT, ROWLAND & GRUBIC, INC.
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NOTES:

- HORIZONTAL DATUM IS BASED UPON THE PENNSYLVANIA STATE COORDINATE SYSTEM, SOUTH ZONE (NAD83). EXISTING CONTOURS WERE OBTAINED FROM PASDA LEADER.
- AN IRON PIN WILL BE SET AT ALL THE PROPOSED PROPERTY CORNERS.
- PROPOSED SIDE YARD SETBACKS TO BE 15FT, A MINIMUM DISTANCE OF 30FT BETWEEN STRUCTURES OR GROUPS OF RELATED STRUCTURES SHALL BE MAINTAINED.
- ALL LOTS ARE TO HAVE CONTROLLED ROOF LEADERS.
- LOTS 1-10 SHALL HAVE ROOF LEADERS DRAIN TO THE REAR OF THE LOT ON A SPLASH BLOCK LOCATED A MINIMUM DISTANCE OF 10' FROM THE PROPERTY LINE.
- LOTS 11-15 SHALL HAVE ROOF LEADERS DRAIN TO A SUMP OR CONNECT DIRECTLY INTO THE STORMWATER CONVEYANCE SYSTEM.
- LOTS 16-20 SHALL HAVE ROOF LEADERS DRAIN TO THE REAR OF THE LOT DIRECTED TOWARDS THE SHALE ON A SPLASH BLOCK LOCATED A MINIMUM DISTANCE OF 10' FROM THE PROPERTY LINE.
- IMPERVIOUS SURFACE COVERAGE SHALL BE LIMITED TO THE FOLLOWING:
 - LOTS 1-5 MAY HAVE A MAXIMUM OF 4,320 S.F. OF IMPERVIOUS SURFACE. 3600 S.F. OF IMPERVIOUS SHALL DRAIN TO THE BACK OF THE LOT, THE OTHER 720 S.F. SHALL DRAIN TOWARDS THE ROADWAY.
 - LOTS 6-10 MAY HAVE A MAXIMUM OF 3,720 S.F. OF IMPERVIOUS SURFACE. 3,000 S.F. OF IMPERVIOUS SURFACE SHALL DRAIN TO THE BACK OF THE LOT, THE OTHER 720 S.F. SHALL DRAIN TOWARDS THE ROADWAY.
 - LOTS 11-22 MAY HAVE A MAXIMUM OF 5,000 S.F. OF IMPERVIOUS SURFACE.
- SETBACKS ARE FOR PRINCIPAL AND ACCESSORY STRUCTURES

ZONING TABLE

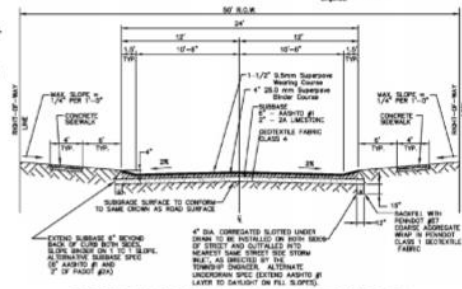
PRD REQUIREMENT	PROVIDED/REQUIRED
GROSS PROPERTY AREA DETERMINED BY SURVEY	24.61
LOT DENSITY	22 LOTS
FRONT YARD SETBACKS	25'
SIDE YARD SETBACKS	15'
REAR YARD SETBACKS	30'
PRD PERIMETER BUFFER	50'
PRD OPEN SPACE REQUIREMENTS	10.14 ACRES/ 9.80 ACRES

MODIFICATIONS/WAIVERS:

- EAGLE RIDGE GROUP LLC REQUESTS A WAIVER FOR SECTION 17-350.A.11, WHICH REQUIRES THAT STORMWATER RUNOFF SHALL NOT BE TRANSFERRED FROM ONE WATERSHED TO ANOTHER UNLESS THE WATERSHEDS ARE SUBAREAS OF A LARGER WATERSHED THAT ARE TRIBUTARY TO A COMMON POINT OF INTEREST WITHIN OR NEAR THE PERIMETER OF THE PROPERTY. JUSTIFICATION: DUE TO NO VIABLE DISCHARGE LOCATION EXISTING ALONG THE REAR OF THE PROPERTY (SUPPORTED BY SUBMITTED ENVIRONMENTAL STUDY), THE WATER MUST BE TRANSFERRED TO THE WOLFE RUN SUBWATERSHED VIA THE EXISTING STORMWATER SYSTEM ALONG OLD EHRMAN ROAD.
- EAGLE RIDGE GROUP LLC REQUESTS A WAIVER FROM SECTION 22-403.G.4, WHICH REQUIRES THAT A TRAFFIC STUDY BE SUBMITTED FOR THE PROPOSED DEVELOPMENT AS PART OF THE ENVIRONMENTAL IMPACT ASSESSMENT. THE APPLICANT PROPOSED TO SUBMIT A TRIP GENERATION. JUSTIFICATION: THE NUMBER OF TRIPS BEING GENERATED BY THE PROPOSED USE DOES NOT WARRANT A TRAFFIC STUDY.

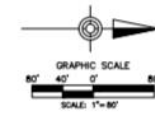
LEGEND

- Property Line
- Legal Right-of-Way Line
- Setback Line
- Existing Contour Major
- Existing Contour Minor
- Existing Stream Line
- Existing Shrub
- Existing Coniferous Tree
- Existing Deciduous Tree
- Tree/Brush Line
- Shrub Row
- Existing Curb
- Existing Edge of Road
- Existing Edge of Gravel
- Existing Fence
- Existing Gas Line
- Existing Sanitary Sewer Line
- Existing Storm Sewer Line
- Existing Sanitary Sewer Manhole
- PROPOSED CONTOUR
- PROPOSED CURB
- PROPOSED FENCE
- PROPOSED GAS LINE
- PROPOSED STORM SEWER & INLET
- PROPOSED SANITARY LINE
- PROPOSED SANITARY/STORM MANH
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- OPEN SPACE AREA
- PROPOSED ASPHALT ROADWAY
- PROPOSED CRUSHED LIMESTONE WALKING TRAIL
- PROPOSED SIDEWALK
- SITE PROPERTY LINE
- 50' REAR YARD BUFFER LINE
- PROPOSED RIGHT OF WAY LINE
- STREET LIGHT



CRANBERRY TYPICAL ROAD SECTION RD-05

NOT TO SCALE



KEY MAP

NO.	REVISION	DATE	BY
1	REVISIONS PER CRANBERRY TOWNSHIP COMMENTS	10/03/2019	VRL



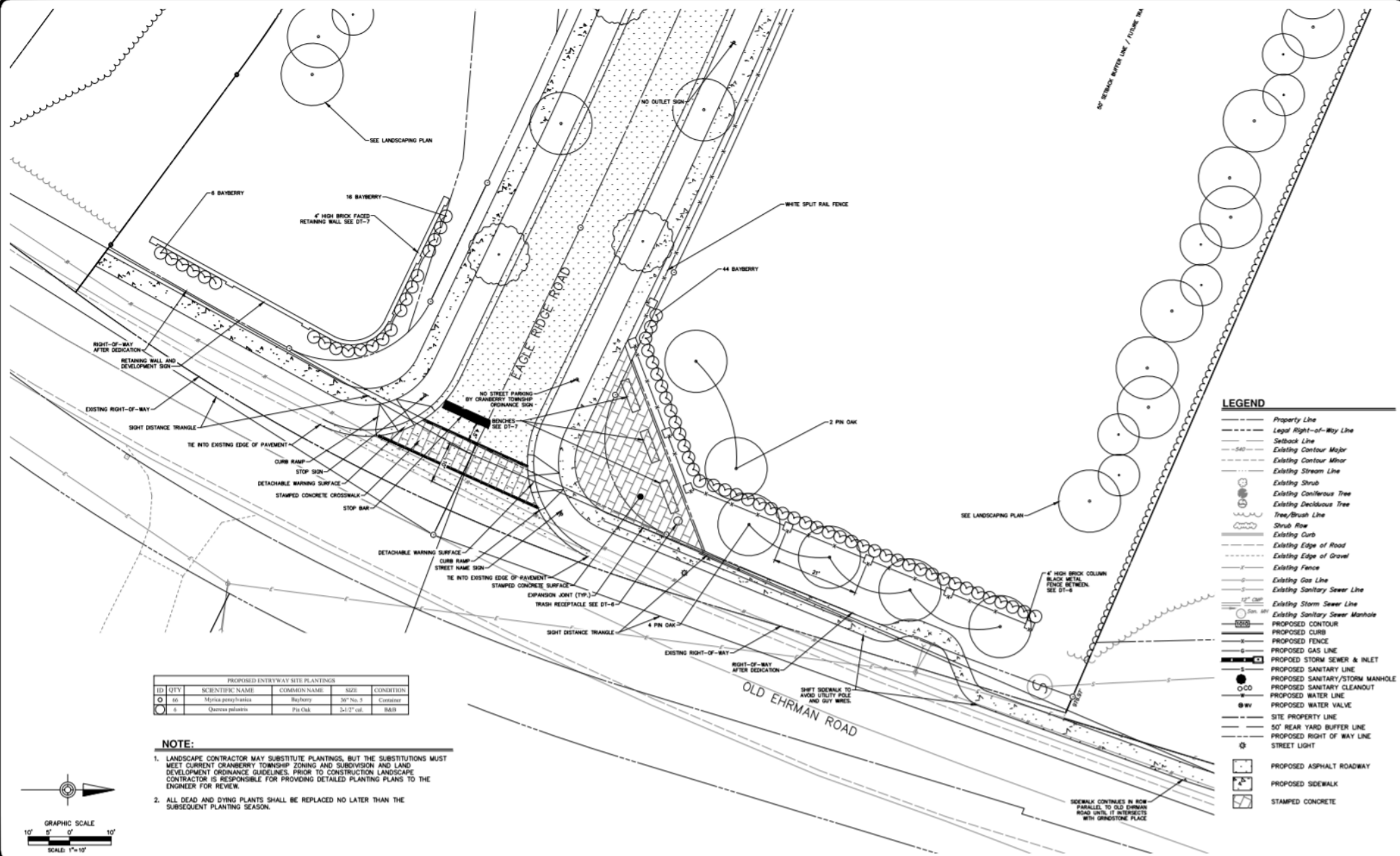
THE EAGLE RIDGE GROUP LLC.
3751 GIBSONIA ROAD
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OVERALL SITE LAYOUT
FOR
EAGLE RIDGE PRD

CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

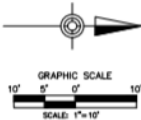
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DATE - 2019.09.09

DRAWING NO.
SI-1
SHEET NO.
09 OF 55
PROJECT 007876.0425



PROPOSED ENTRYWAY SITE PLANTINGS				
ID	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE / CONDITION
66	1	Myrica pensylvanica	Bayberry	30" No. 5
6	1	Quercus palustris	Pin Oak	2-1/2" cal. B&B

- NOTE:**
- LANDSCAPE CONTRACTOR MAY SUBSTITUTE PLANTINGS, BUT THE SUBSTITUTIONS MUST MEET CURRENT CRANBERRY TOWNSHIP ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCE GUIDELINES. PRIOR TO CONSTRUCTION LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED PLANTING PLANS TO THE ENGINEER FOR REVIEW.
 - ALL DEAD AND DYING PLANTS SHALL BE REPLACED NO LATER THAN THE SUBSEQUENT PLANTING SEASON.



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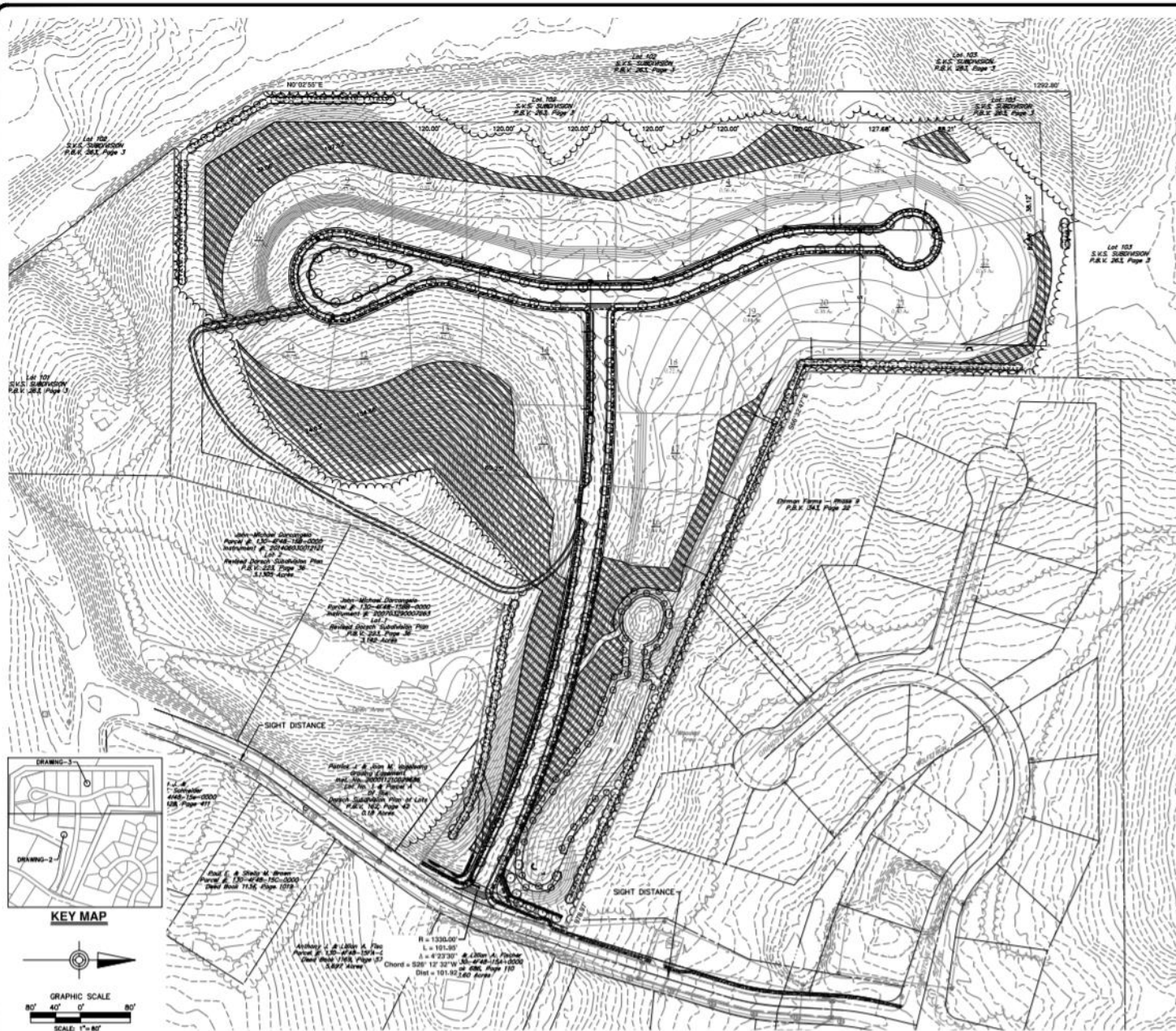


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ENTRANCE LAYOUT
FOR
EAGLE RIDGE PRD
CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - VRL
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SCALE - AS SHOWN
DATE - 2019.09.09

DRAWING NO.
SI-4
SHEET NO.
12 OF 55
PROJECT 007876.0425



STEEP SLOPE PLANTINGS

188,659 SQUARE FEET



STEEP SLOPE VEGETATION:

- IN ORDER TO PROTECT HILLSIDES EXCEEDING 25% IN SLOPE, NO VEGETATIVE COVER MAY BE REMOVED FROM AN EXISTING SLOPE GREATER THAN 25%, NOR MAY A SLOPE EXCEEDING 25% BE CREATED, UNLESS A PROGRAM APPROVED BY THE TOWNSHIP FOR REFORESTATION OF THE DISTURBED AREAS IS GUARANTEED.
- NUMBER:
 - AT A MINIMUM, THE PLANTING PROGRAM SHALL INCLUDE ONE TREE PER 600 SQUARE FEET OF SLOPE EXCEEDING 25%.
 - SPACING:
 - TREE SPACING SHALL INCLUDED IN THE PLANTING PROGRAM FOR STEEP SLOPES SHALL BE A MINIMUM OF ONE INCH IN SIZE, FAST GROWING, AN NATIVE TO WESTERN PENNSYLVANIA.

SUGGESTED STEEP SLOPE AREA PLANTINGS					
QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	SPACING
EVERGREEN					
100	Abies balsamea	Concolor Fir	6ft	B&B	24.3' OC
DECIDUOUS					
100	Quercus palustris	Pin Oak	1" cal.	B&B	24.3' OC
100	Acer rubrum	Red Maple	1" cal.	B&B	24.3' OC

STREET TREE PLANTING SCHEDULE

- QUANTITY / SPACING. STREET TREES SHALL BE PLANTED AT A CREATE OF ONE PER 35 FEET ON CENTER USING "SOLDIER" SPACING (ONE TREE EVERY 35 FEET, ON CENTER, IN A CONTINUOUS ROW).
- SIZE. ALL STREET TREES SHALL BE A MINIMUM OF THREE-INCH CALIPER IN SIZE AT THE TIME OF PLANTING, MEASURED SIX INCHES ABOVE GROUND LEVEL.
- LOCATION. THE STREET TREES SHALL BE PLANTED IN THE GRASS STRIP BETWEEN THE ROADWAY AND THE SIDEWALK, WITHIN THE ROAD RIGHT-OF-WAY, AS SET FORTH IN THE DESIGN STANDARDS FOR STREETS IN THE PUBLIC AND PRIVATE IMPROVEMENTS CODE.
 - STREET TREES SHALL BE PLANTED SO AS NOT TO INTERFERE WITH EXISTING UTILITIES, SIDEWALKS, SITE EASEMENTS, INTERSECTION SIGHT TRIANGLES, OR STREET LIGHTING.
 - WHERE EXISTING SITE FEATURES INTERFERE WITH TREE PLACEMENT, THE TREE LOCATIONS MAY BE OTHER THAN THAT REQUIRED BY THE PRECEDING PROVISIONS BUT MUST BE LOCATED WITHIN THE ROAD RIGHT-OF-WAY AS CLOSE TO THE EDGE OF THE ROADWAY PAVEMENT AS IS FEASIBLE AND MUST BE BETWEEN THE SIDEWALK AND ROADWAY.
 - WHERE LOCATION OF STREET TREES IN THE ROAD RIGHT-OF-WAY MAY NOT BE POSSIBLE BECAUSE OF EXISTING SITE CONSTRAINTS, THE TREES SHALL BE LOCATED AS CLOSE TO THE ROAD RIGHT-OF-WAY AS IS PRACTICAL.

SUGGESTED STREET TREE PLANTINGS				
SYM	QTY	SCIENTIFIC NAME	COMMON NAME	CONDITION
DECIDUOUS				
01	100	Acer rubrum	Red Maple	3" cal. B&B
02	100	Quercus rubra	Red Oak	3" cal. B&B

NOTE:

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- PRIOR TO CONSTRUCTION LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED PLANTING PLANS TO THE ENGINEER FOR REVIEW.
- ALL DEAD AND DYING PLANTS SHALL BE REPLACED NO LATER THAN THE SUBSEQUENT PLANTING SEASON.
- CONTRACTOR IS TO SUBMIT A MAINTENANCE PLAN FOR TOWNSHIP APPROVAL. MAINTENANCE PLAN SHOULD INCLUDE A WATER SCHEDULE FOR A MINIMUM DURATION OF ONE YEAR POST INSTALLATION.

NO.	REVISION	DATE	BY
1	REVISIONS PER CRANBERRY TOWNSHIP COMMENTS	10/03/2019	VR



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3751 GIBSONIA ROAD
GIBSONIA, PA 15044
(412) 418-6520

OVERALL LANDSCAPE PLAN
FOR
EAGLE RIDGE PRD

CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - VR
DESIGN - VR
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LA-1
SHEET NO.
32 OF 55
PROJECT 007876-0425