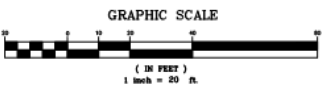
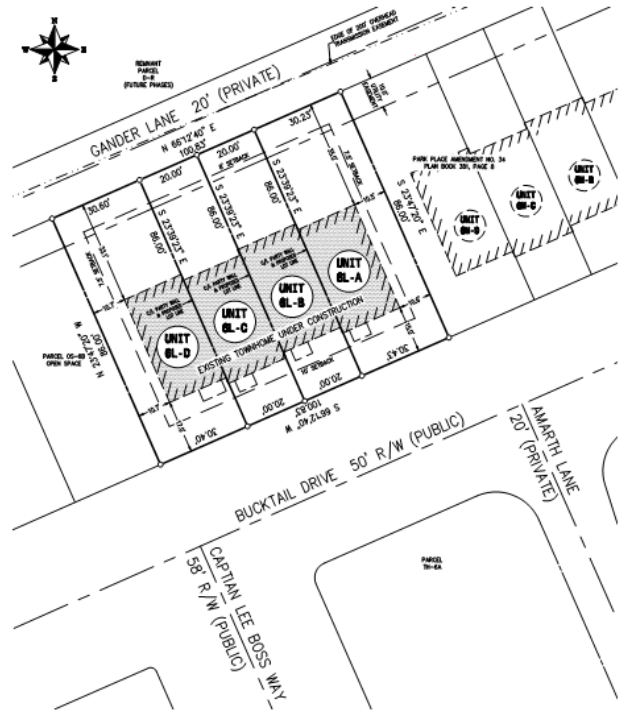


TOWNSHIP ENGINEER **REGISTERED SURVEYOR** **CRANBERRY TWP BOARD OF SUPERVISORS** **BUTLER COUNTY PLANNING COMMISSION** **BUTLER COUNTY RECORDER OF DEEDS**



GENERAL PLAN NOTES

1. THIS PLAN IS A RE-SUBDIVISION OF PARCELS TH-6L OF THE PARK PLACE RESIDENTIAL SUBDIVISION - PHASE 6 AS RECORDED IN PLAN BOOK 374, PAGES 26 & 27.
2. THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
3. IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.

AFFECTED ZONING CLASSIFICATION: CCD-2
PROPOSED USE : CCD-2

- MINIMUM LOT SIZE PER PATTERN BOOK
- MINIMUM LOT WIDTH PER PATTERN BOOK
- MINIMUM FRONT SETBACK PER PATTERN BOOK
- MINIMUM REAR SETBACK PER PATTERN BOOK
- MINIMUM SIDE SETBACK PER PATTERN BOOK
- MAXIMUM BUILDING HEIGHT PER PATTERN BOOK

PROPOSED LOT AREAS

BL-A	2,608.147 SF	0.060 AC
BL-B	1,720.005 SF	0.039 AC
BL-C	1,720.005 SF	0.039 AC
BL-D	2,623.063 SF	0.060 AC
TOTAL	8,671.220 SF	0.198 AC

PROPERTY REFERENCES

PROPERTY OWNER:
NVR, INC.
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276

LOT REFERENCE:
LOT TH-6L
TAX PARCEL 130-531-06L
INS# 201909030017149



DRAWING NUMBER: 104-11500243
DRAWING SCALE: 1"=20'
DATE: FEBRUARY 15, 2024
DRAWN BY:
CHECKED BY:

PARK PLACE AMENDMENT NO. 36

BEING A RE-SUBDIVISION OF PARCEL TH-6L OF THE PARK PLACE RESIDENTIAL SUBDIVISION - PHASE 6 AS RECORDED IN PLAN BOOK 374, PAGES 26 & 27
CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA



BY RESOLUTION APPROVED ON THE _____ DAY OF _____, 20____, THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE PARK PLACE AMENDMENT NO. 36 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

NVR, INC.

SIGNATURE AND TITLE OF OFFICER WITNESS SIGNATURE AND TITLE OF AUTHORIZED OFFICER

DATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED _____ OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

(SEAL) _____ NOTARY PUBLIC

SIGNATURE OF WITNESS SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE _____ JAMES A. SPERDUITE, R.S. # 24457-E

A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

DATE _____ SIGNATURE _____
REGISTRATION NO. _____

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION NO. _____ EFFECTIVE THIS _____ DAY OF _____, 20____.

SECRETARY _____ CHAIRPERSON _____

I, JERRY ANDREE, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. _____ HAVE BEEN MET IN ACCORDANCE WITH SECTION 22-305 AND 22-307 OF THE TOWNSHIP CODE OF ORDINANCES OF _____.

TOWNSHIP MANAGER

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS _____ DAY OF _____, 20____.

SECRETARY _____ CHAIRPERSON _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK _____ PAGE _____.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS

