

FRESENIUS KABI LAND DEVELOPMENT

SITUATE IN

TOWNSHIP OF CRANBERRY

BUTLER COUNTY, PA

June 21, 2019
Rev. August 7, 2019

DEVELOPER:

FRESENIUS KABI
770 COMMONWEALTH DRIVE,
WARRENDALE, PA 15086

ARCHITECT:

ARCHITECTURAL INNOVATIONS, LLC
1003 MCKNIGHT PARK DR
PITTSBURGH, PA 15237

SURVEYOR/SITE ENGINEER:

TAIT ENGINEERING, INC.
908 PERRY HWY.
PITTSBURGH, PA 15229
TELE. 412.364.6090



VICINITY MAP

SCALE: = N.T.S.

SP-1 SPECIAL GROWTH DISTRICT & STREETSCAPE ENHANCEMENT OVERLAY	
	REQUIRED
FRONT YARD	25 FEET
SIDE YARD	20 FEET
REAR YARD	20 FEET
MIN. LOT AREA	1 ACRE
MAX. BUILDING HEIGHT	50 FEET
MAX. IMP. SURFACE RATIO	70%

DRAWING LIST:

SITE PLANS

SHEET 1 OF 10
SHEET 2 OF 10
SHEET 3 OF 10
SHEET 4 OF 10
SHEET 5 OF 10
SHEET 6 OF 10
SHEET 7 OF 10
SHEET 8 OF 10
SHEET 9 OF 10
SHEET 10 OF 10

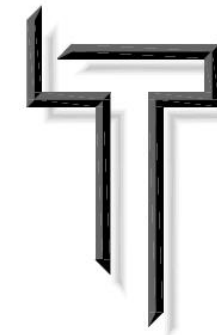
EXISTING CONDITIONS PLAN
SITE PLAN
GRADING PLAN
EROSION CONTROL PLAN
LANDSCAPE & MAINTENANCE PLAN
LIGHTING PLAN
EROSION CONTROL DETAILS
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
STORM PROFILES

Underground utilities have been plotted from available information and the locations must be considered approximate. Other underground utilities may exist which are not shown. It will be the contractor's responsibility to ascertain all physical locations of utility lines prior to the time of construction. In no way shall the contractor hold the surveyor responsible for any utility locations shown or not shown on this plan.

Pennsylvania legislation, act 38, requires notification to utility companies prior to any digging, drilling, blasting, or excavation. For location requests in the state of Pennsylvania call toll free.

1-800-242-1776

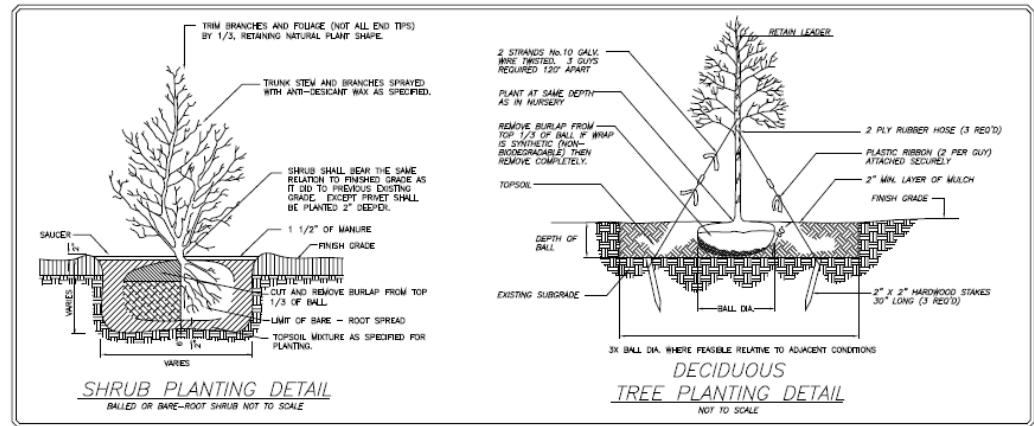
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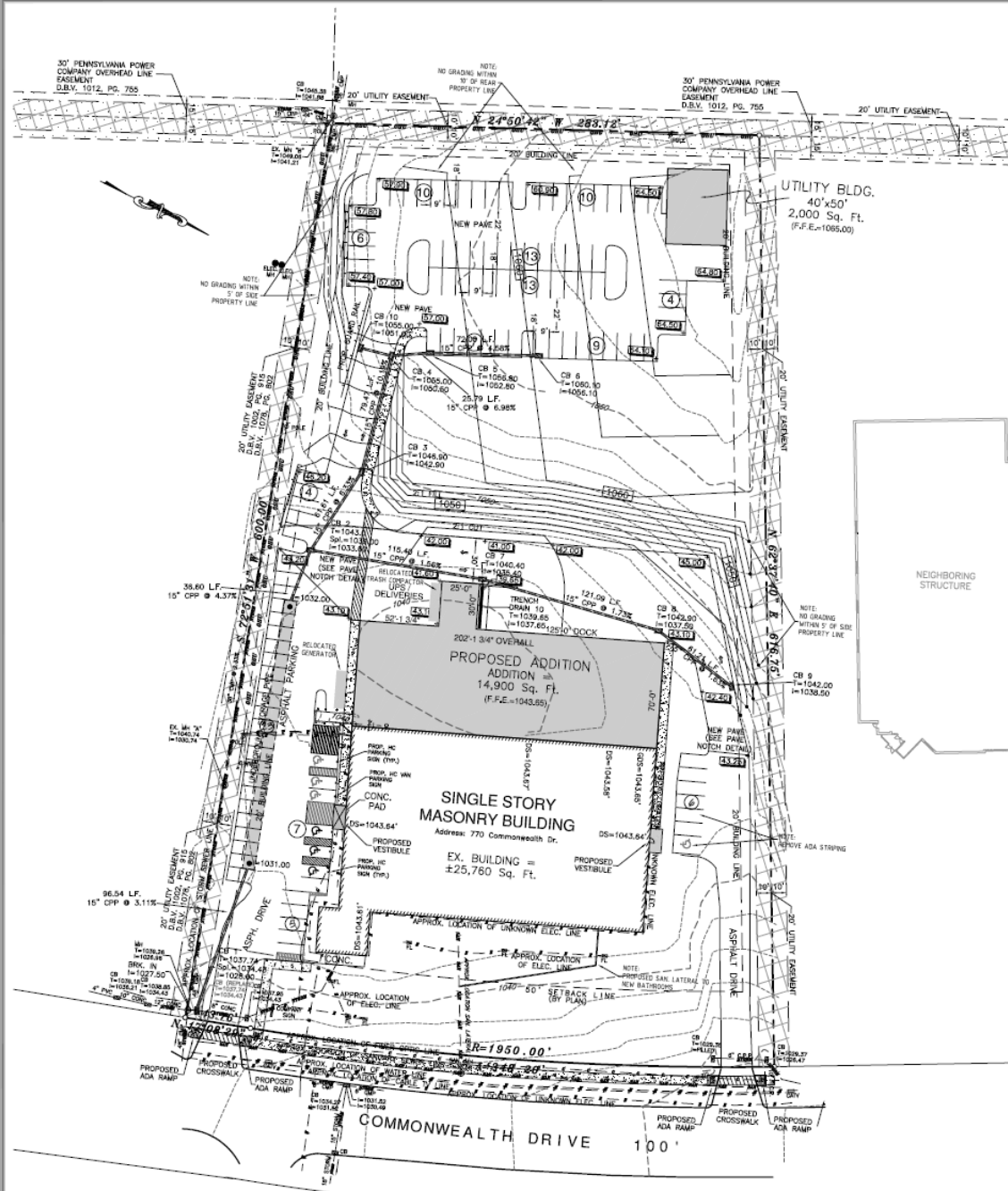
908 Perry Highway
Pittsburgh, Pennsylvania 15229
tel: 412.364.6090
fax: 412.364.6716
e: taiteng@taitengineering.net

TAIT
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- Notes:**
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 2. Not all utility companies have responded to placement of PA One Call. Tait Engineering, Inc. assumes no responsibility for utilities shown or not shown, including their respective easements.
 3. Property subject to any issues that may be revealed by a current and complete title report.
 4. Topographic contour data is based State Plane Coordinate, Pennsylvania South NAD83 datum, Bearings and distances shown from subdivision plan of record.
 5. Building setback lines are shown from a previous ALTA/ACSM Survey dated July 2001.



VICINITY MAP

SP-1 SPECIAL GROWTH DISTRICT

	REQUIRED	PROVIDED (MAIN BLDG)
FRONT YARD	25 FEET	58.46 FEET
SIDE YARD	20 FEET	88.3 FEET
REAR YARD	20 FEET	301 FEET
MIN. LOT AREA	1 ACRE	4.746 ACRE
MAX. BUILDING HEIGHT	50 FEET	50 FEET
MAX. IMP. SURFACE RATIO	70%	54.8%

* ALL BUILDINGS ON LOTS ADJOINING ANY R-1 RESIDENTIAL DISTRICT SHALL BE SET BACK A MINIMUM OF 100 FEET FROM THE LOT LINE ADJOINING THE R-1 RESIDENTIAL DISTRICT.

** NO STRUCTURE SHALL EXCEED 50 FEET IN HEIGHT UNLESS EVERY REQUIRED YARD IS INCREASED BY ONE FOOT FOR EACH ADDITIONAL TWO FEET IN HEIGHT OVER 50 FEET.

*** ANY STRUCTURE HIGHER THAN 50 FEET ON A LOT WHICH ADJUTS RESIDENTIAL ZONING DISTRICT SHALL BE SET BACK AN ADDITIONAL ONE FOOT FOR EVERY ADDITIONAL FOOT OVER 50 FEET IN ADDITION TO THE REQUIREMENT OF SUBSECTION 6.8(2)(d).

TOTAL IMPROVED SURFACE AREA = 113,187 S.F.
OR 2.60 ACRES (EXISTING LOT AREA = 206,735 S.F.)

PARKING REQUIREMENTS

PER SECTION 27-312.14 OF THE ZONING ORDINANCE FOR LIGHT MANUFACTURING, THE REQUIRED PARKING IS 1 PER 1,000 S.F. OF THE G.F.A., PLUS 1 PER 350 S.F. OF OFFICE AND SALES SPACE.

OFFICE & SALES SPACE:

4,840 S.F. / 350 = 13.8, USE 14 REQUIRED

GROSS FLOOR AREA (G.F.A.):

25,760 S.F. EXISTING PLUS 14,900 S.F. ADDITION(S) = 40,660 S.F. TOTAL

40,660 / 1,000 = 40.7, USE 41 REQUIRED

TOTAL REQUIRED PARKING:

14 + 41 = 55 SPACES
(DUE TO A LARGE NUMBER OF EMPLOYEES, 117 PARKING SPACES ARE PROPOSED)

PARKING NOTE:

CURB RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ACCESSIBILITY GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (ADA) FOR ADA PARKING SPACES.

THE ADA ACCESSIBLE PARKING ON THE NORTHERN SIDE OF THE BUILDING IS TO BE ELIMINATED AND 3 NEW ADA PARKING SPACES WILL BE ADDED TO THE 3 EXISTING ON THE SOUTHERN SIDE OF THE BUILDING. PAVEMENT SLOPES MUST BE RECONFIGURED SO THAT THERE IS NO MORE THAN 2% SLOPE IN ANY DIRECTION IN ADA PARKING STALLS OR LOADING AREAS (PAVEMENT TO BE FLUSH WITH ENTRY).

EXISTING PARKING COUNT

REGULAR SPACES	88
HANDICAP SPACES	1
TOTAL SPACES	89

PROPOSED PARKING COUNT

REGULAR SPACES	111
HANDICAP SPACES	6
TOTAL SPACES	117

LEGEND

- ELECTRIC LINE
- GASLINE
- WATERLINE
- SANITARY SEWER
- STORM SEWER
- OVERHEAD UTILITIES
- CHAINLINK FENCE
- G GAS VALVE
- W WATER VALVE
- C CATCH BASIN
- F FIRE HYDRANT
- C CLEAN OUT
- M MANHOLE
- E ELECTRIC METER
- G GAS METER
- S SANITARY MANHOLE
- P TELEPHONE POLE
- L LIGHT POST (STANDARD)

Notes: Regarding PA Stormwater Management Regulations

1. It shall be unlawful to alter or remove any permanent stormwater BMP required by an approved SWM site plan or to allow the property to remain in a condition that does not conform to an approved SWM site plan, unless the Township grants an exception in writing.
2. Prior to final approval of the SWM site plan and report, the applicant shall sign an operation and maintenance (O&M) agreement in form and substance approved by the Township Solicitor and Board of Supervisors.
3. No person shall modify, remove, fill, landscape, or alter any existing stormwater BMP, facilities, areas, or structures, unless it is part of an approved maintenance program, without the written approval of the Township.
4. Municipal Authority Ordinance: Approval of a stormwater management plan by the Township shall not be construed as an indication that said plan complies with the requirements, laws, or standards of any agency of the Commonwealth which may or may not govern said activity.
5. A statement signed by the landowner acknowledging that the stormwater BMPs are features that cannot be altered or removed without prior approval by the Township.
6. The following statement must be signed by the qualified professional preparing the stormwater management plan:
I, _____, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Cranberry Township Stormwater Management Ordinance.
7. The following statement must be signed by the Township Engineer or approved Township representative reviewing the Stormwater Management Plan:
I, _____, have reviewed this Stormwater Management Plan in accordance with the Design Standards and Criteria of the Cranberry Township Stormwater Management Ordinance.
8. Provide a certification of completion from an engineer, architect, surveyor, or other qualified person verifying that all permanent facilities have been constructed according to the SWM site plan and report and approved revisions thereto.

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TOTAL PLAN AREA
206,734.97 Sq. Feet
4.746 Acres



1-800-242-1776 S/N: 20180091458

SITE PLAN
SITUATE IN
**CRANBERRY TOWNSHIP,
BUTLER COUNTY, PA.**
MADE FOR
**ARCHITECTURAL INNOVATIONS
770 COMMONWEALTH DRIVE**

Date: June 21, 2019
Scale: 1"=40'
Drawn By: CSA
Reviewed By: DTT
File Number: 35839
CAD File: 18.0214
Revision:
Rev. 8-07-2019 Per Review



Registered Engineer
Reg. No. PE 060125



908 Perry Highway
Pittsburgh, Pennsylvania 15229
tel: 412.364.6090
fax: 412.364.6716
e: taiteng@taitengineering.net

**TAIT
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Fresenius Kabi Additions

Northeast Perspective





Fresenius Kabi Additions

Southeast Perspective







Fresenius Kabi Additions

Southwest Perspective





Fresenius Kabi Additions

Utility Building - Perspective





Fresenius Kabi Additions

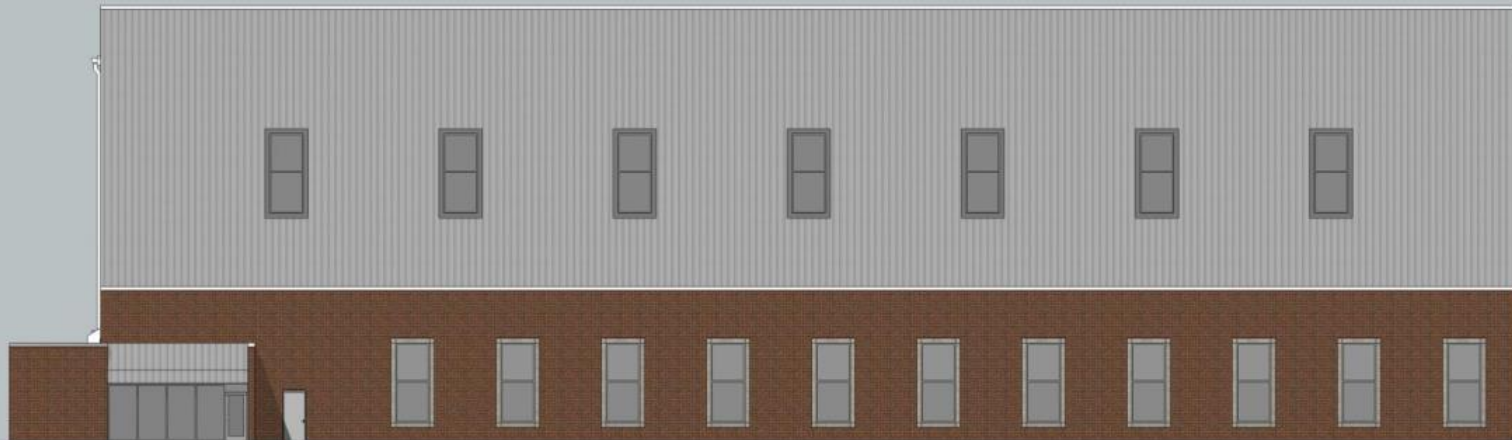
South Elevation





Fresenius Kabi Additions

East Elevation



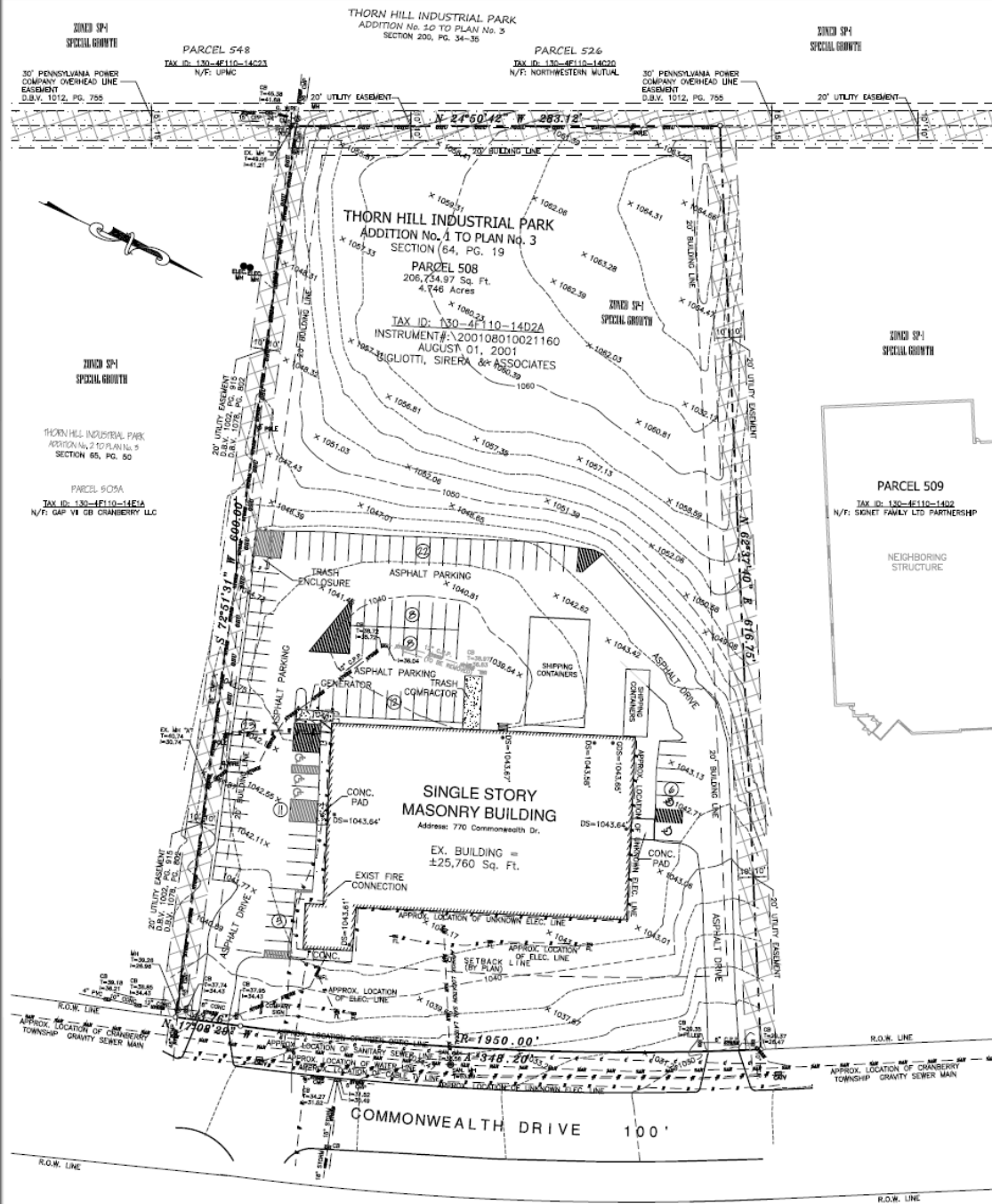




Fresenius Kabi Additions

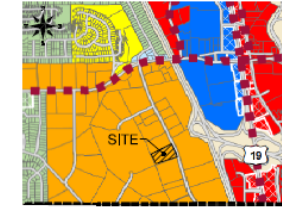
West Elevation





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5. Building setback lines are shown from a previous ALTA/ACSM Survey dated July 2001.



VICINITY MAP

SP-1 SPECIAL USE DISTRICT	
REQUIRED	
FRONT YARD	NOT LESS THAN 25 FEET
SIDE YARD	NOT LESS THAN 20 FEET
REAR YARD	NOT LESS THAN 20 FEET
MIN. LOT AREA	1 ACRE
MIN. LOT WIDTH	80 FEET AT FRONT LOT LINE
MAX. BUILDING HEIGHT	50 FEET

- ALL BUILDINGS ON LOTS ADJOINING ANY RESIDENTIAL DISTRICT SHALL BE SET BACK A MINIMUM OF 100 FEET FROM THE LOT LINE ADJOINING THE RESIDENTIAL DISTRICT.
- NO STRUCTURE SHALL EXCEED 50 FEET IN HEIGHT UNLESS EVERY REQUIRED YARD IS INCREASED BY ONE FOOT FOR EACH ADDITIONAL TWO FEET IN HEIGHT OVER 50 FEET.
- ANY STRUCTURE HIGHER THAN 50 FEET ON A LOT WHICH ADJUTS RESIDENTIAL ZONING DISTRICT SHALL BE SET BACK AN ADDITIONAL ONE FOOT FOR EVERY ADDITIONAL FOOT OVER 50 FEET IN ADDITION TO THE REQUIREMENT OF SUBSECTION 6.802(2).

EXISTING PARKING COUNT	
RECTANGULAR SPACES	88
HANDICAP SPACES	2
TOTAL SPACES	90

LEGEND

- ELECTRIC LINE
- GASLINE
- WATERLINE
- SANITARY SEWER
- STORM SEWER
- OVERHEAD UTILITIES
- CHUNKLINK FENCE
- GAS VALVE
- WATER VALVE
- CATCH BASIN
- FIRE HYDRANT
- CLEAN OUT
- MANHOLE
- ELECTRIC METER
- GAS METER
- SANITARY MANHOLE
- TELEPHONE POLE
- LIGHT POST (STANDARD)

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1-800-242-1776

S/N: 201580031459



TOTAL PLAN AREA
206,734.97 Sq. Feet
4.746 Acres

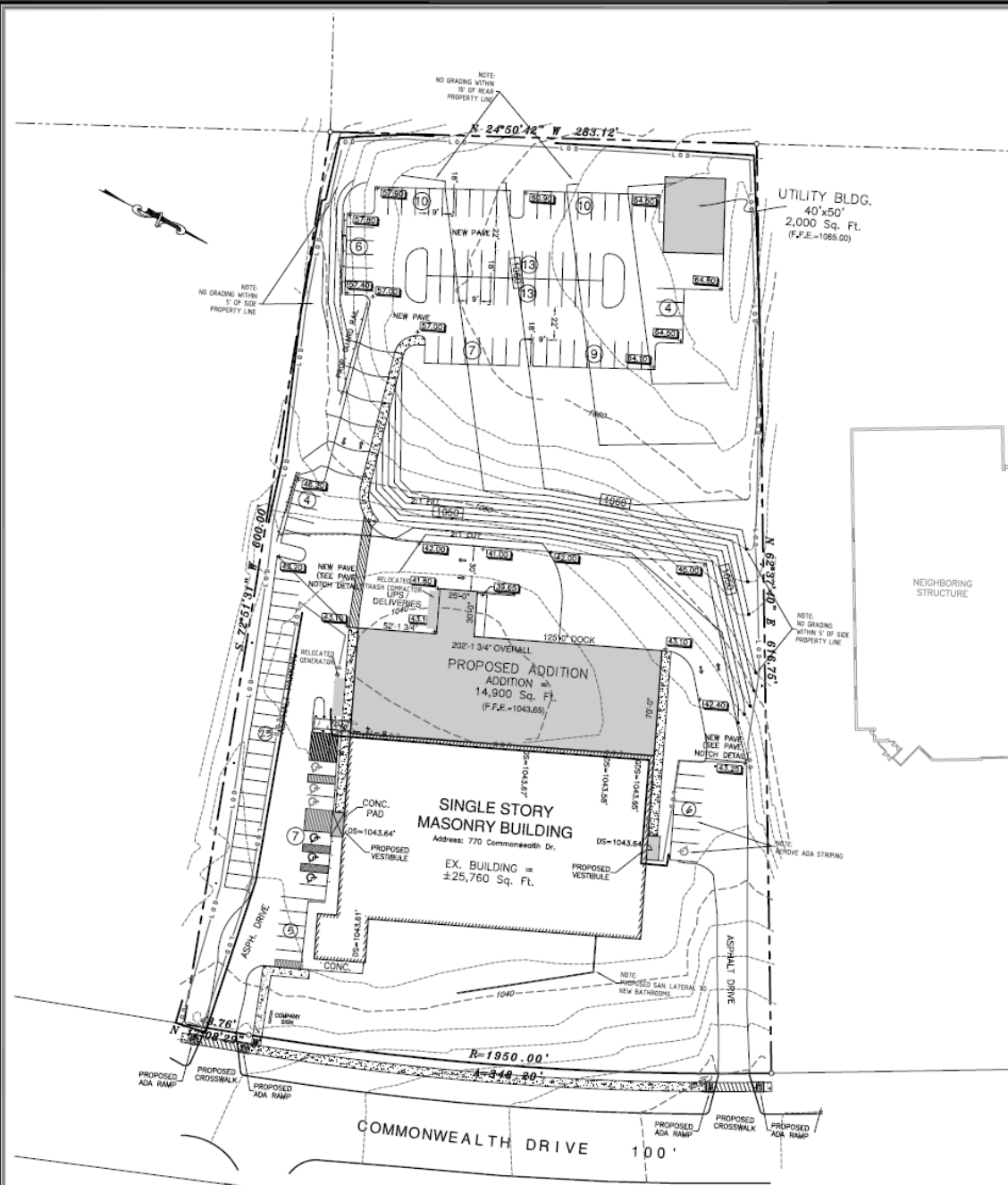


EXISTING CONDITIONS
SITUATE IN
CRANBERRY TOWNSHIP,
BUTLER COUNTY, PA.
MADE FOR
ARCHITECTURAL INNOVATIONS
770 COMMONWEALTH DRIVE

Date: February 25, 2019
Scale: 1"=40'
Drawn By: CSA
Reviewed By: LAT
File Number: 35839
CAD File: 18.0214
Revisions:



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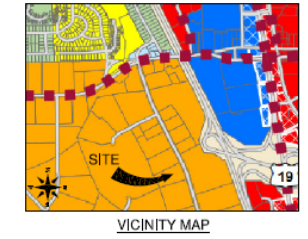
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GENERAL NOTES:

1. TOPOGRAPHIC CONTOUR DATA IS BASED STATE PLANE COORDINATE, PENNSYLVANIA SOUTH NAD83 DATUM.
2. FOR WORK ASSOCIATED WITH THE PROPOSED BUILDING, REFER TO THE ARCHITECTURAL PLANS.
3. ALL GEOTECHNICAL WORK SHALL BE PERFORMED UNDER THE DIRECTION OF AND APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER.
4. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CONSTRUCTION STANDARDS.

CONSTRUCTION NOTES:

5. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED AND FUNCTIONAL BEFORE ANY GRADING WORK IS STARTED. REFER TO THE E & S PLAN FOR DETAILS.
6. CLEAR AND GRUB THE WORK AREA OF TREES, BRUSH, AND OTHER VEGETATION. REMOVE THESE MATERIALS AND ANY OTHER FOREIGN MATERIALS FROM THE SITE.
7. ALL FILL SHALL BE CLEAN, SOUND SOIL FREE OF ORGANIC MATERIALS. EXCAVATED SOIL THAT IS NOT SUITABLE AS BACKFILL SHALL BE REMOVED FROM THE SITE.
8. PRIOR TO PLACEMENT OF FILL, PROPOSED SUBGRADE SHALL BE COMPACTED, SORT OR OTHERWISE UNSUITABLE AREAS SHALL BE REMOVED AND BACKFILLED WITH SOUND MATERIAL TO PROVIDE AN ADEQUATE BEARING SURFACE.
9. ALL APPROVED FILL MATERIAL SHALL BE PLACED IN MAXIMUM 6" THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AND WITHIN 3% OF ITS OPTIMUM MOISTURE CONTENT, AS DETERMINED BY ASTM D1557.
10. PAVEMENT SUBGRADE SHALL BE GRADED, SHAPED, AND COMPACTED AS DESCRIBED IN NOTE 8. ALL SOFT SPOTS SHALL BE OVERGRADED AND BACKFILLED WITH APPROVED MATERIAL. HANDICAP ROUTES MUST NOT EXCEED 2% SLOPE (OR 2% SIDE SLOPE). HANDICAP STALLS MUST NOT EXCEED 2% SLOPE IN ANY DIRECTION.
11. PAINTED LINES FOR PARKING SPACES AND PEDESTRIAN RULES SHALL BE SOLID WHITE, 5" WIDE, EXCEPT FOR ACCESSIBLE AREAS. SEE SPECIFIC DETAILS FOR ACCESSIBLE SPACE REQUIREMENTS.
12. ALL STORM-SEWER PIPING SHALL BE ADS 11-12 SMOOTH WALL CPP OR EQUAL. ROOF DRAINS SHALL BE 8" PVC AND SHALL BE INSTALLED AROUND THE PROPOSED BUILDING. ALL ROOF DRAINS AND INLETS SHALL BE CONNECTED TO THE EXISTING CATCH BASINS.
13. SEE MECHANICAL ENGINEER'S PLANS FOR EXTENSION OF SERVICE UTILITIES (NOT SHOWN). FINAL SIZE AND LOCATION OF SERVICE UTILITIES (GAS, WATER, ETC.) TO BE DETERMINED AND DESIGNED BY THE HVAC DESIGNER OR RESPECTIVE UTILITY COMPANIES.
14. PAVEMENT MARKINGS SHALL BE MADE WITH PERMITS APPROVED MATERIALS AND SHALL CONFORM TO THE DIMENSIONAL REQUIREMENTS OF PERMITS PUBLICATION 68, CHAPTER 211, SUBCHAPTER K.
15. PROPOSED UTILITY LOCATIONS TO BE VERIFIED BY RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
16. PROPOSED CURBS TO BE CONCRETE CURBS (6" REVEAL) AS SHOWN ON DETAIL SHEET.
17. PROPOSED GRADING MUST BE SET BACK A MINIMUM OF 5 FEET FROM SIDELINES AND 10 FEET FROM REAR PROPERTY LINE.



LEGEND

- 1000 --- EXISTING CONTOUR
- 1000 --- PROPOSED CONTOUR
- - - - - CHAINLINK FENCE
- G GAS VALVE
- W WATER VALVE
- C CATCH BASIN
- H HYD
- F FIRE HYDRANT
- C CLEAN OUT
- M MANHOLE
- E ELECTRIC METER
- G GAS METER
- S SANITARY MANHOLE
- T TELEPHONE POLE
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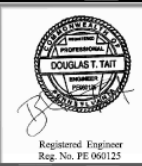
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Fresenius Kabi Additions

Utility Building - South Elevation

