

THE COURTYARDS AT



WILLOW GROVE

WEAVER HOMES

PATTERN BOOK

FINAL PLAN
APPLICATION
MARCH 5, 2019



FINAL LAND DEVELOPMENT PATTERN BOOK

Zoning District: R-2
Proposed Use: Planned Residential Development
Total Site Area: 14.013 Acres
Proposed Number of Homesites: 26 plus one single family lot
Proposed Site Density: 1.9 Dwelling Units / Acre
Typical Lot Size: N/A - Zero Lot Line Condominium
Proposed PRD Perimeter Setback: 50' N/A – Zero Lot Line Condominium, except Lot #2
Proposed Area of Lots:

- Waiver to Section 17-404.2(A) – Which requires that the minimum width of walkways shall be four feet wide unless specified otherwise in Section 17-401 or Chapter 27. Chapter 17 – Attachment 1: Construction Standards – Which requires an eight-foot (8') grass strip and a six-foot (6') wide sidewalk along a residential collector street and a six foot (6') grass strip along a local residential street.

Proposing – To modify the construction standards to a two foot (2') wide grass strip with a four foot (4') wide sidewalk along North Boundary Road, a four foot (4') wide sidewalk along Franklin Road, and a three foot (3') wide grass strip along the proposed local residential streets.

Justification – Due to the improvements associated with the reconstruction of North Boundary Road the remaining topography and physical features including a metal guardrail do not allow for the full width of the pedestrian walkway to be built. Due to reduced front building setbacks, moving the sidewalks closer to the road will create more separation from the buildings to the sidewalks.

- Lot #2 shall be created from residual land of the proposed zero lot condominium. Lot #2 shall be considered part of the PRD but shall not be governed by or be part of the condominium association or regulated by its covenants, bylaws, restrictions, pattern book, etc.
- Lot #2 shall have direct access to either Franklin or North Boundary roads which location shall be determined by the governing agency.
- Lot #2 shall be provided public water and sewer as shown on the approved plans. All setbacks shall be as shown on the approved plans.

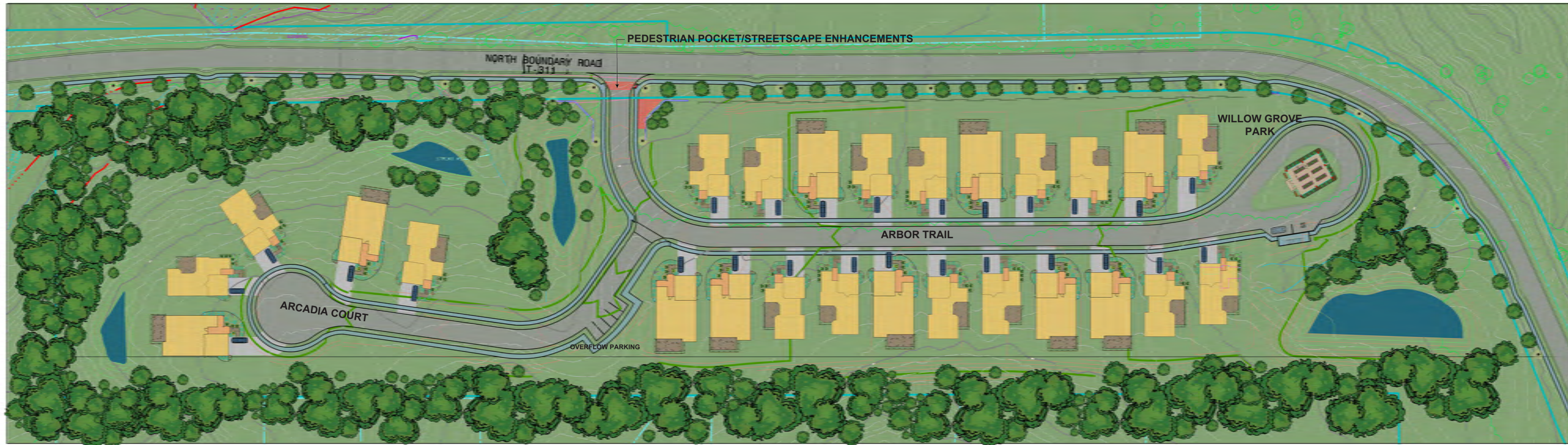
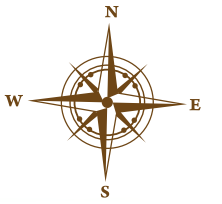
Blue Bermuda Trust
North Boundary/Franklin Rd.
Cranberry Township, Pa.

Civil and Traffic Engineer
The Gateway Engineers
Butler, Pa.

Courtyards at Willow Grove, LP
by Weaver Homes

Environmental Consultant:
Ku Resources
Duquesne, Pa.

SITE PLAN & OVERVIEW



This site plan is an artist's rendering and is for illustrative purposes only.



The Courtyards at Willow Grove PRD Overview

The Courtyards at Willow Grove is proposed on the 15 acre parcel located at the south western corner of the intersection of North Boundary and Franklin Roads. Access to the plan will be by a single private vehicular connection to North Boundary Road for the 26 zero lot line/ condominium homesites. One fee simple lot shall also be created as part of the PRD which shall access either Franklin or North Boundary as approved. Sidewalks shall be provided internally as well as along the site frontage. Sidewalks along North Boundary shall connect to those required with the development of the Geisler property to the west and then to North Boundary park.

The Courtyards at Willow Grove shall include 26 Detached Patio Homes whose form of ownership shall be a condominium providing a multitude of on property and common area services to the residents. The single family lot shall be fee simple ownership and will not be part of the condominium.

The community shall be developed as a single phase plan. The neighborhood shall be linked to adjacent lands by sidewalks, street trees and landscaping, community amenities, street and public space furniture.

The Courtyards at the Willow Grove Homestyles

The Detached Patio Home Portion of the plan shall consist of 26 homesites which shall be built by Weaver Homes. Garages shall be front facing with architectural features setting apart this truly unique living environment. Each home shall feature a Courtyard being integral to the main living area as it is surrounded by windows that provide a view from multiple points in the home while protecting homeowner privacy from neighboring homes. The subtle details that create the unique indoor/ outdoor living environment at the Courtyards shall be further demonstrated throughout the pattern book.

THE COURTYARDS AT WILLOW GROVE

- All homes shall be built in accordance with the Pattern Book and all applicable building codes.
- Building materials shall include brick, stone and vinyl siding with various patterns and textures. Roofs shall be shingled.
- The trim surrounding the garage doors shall match the house trim color.
- All driveways shall utilize a concrete apron extending from the line of the asphalt wedge curb to the furthest line of the concrete sidewalk. The balance of the driveway shall be concrete, asphalt or other approved material.
- Homes located on street corners shall be oriented to the same primary façade zone of either of the intersecting streets.
- All exterior gutters and downspouts shall be of similar color to the primary trim color of the home.
- Utility equipment shall be screened to highest degree possible, and in accordance with the utility providers requirements for safety and access of such equipment.
- Wood grain, vinyl shutters shall be utilized.
- Window trim shall be white or neutral in color, or may be of a complementary color to the building siding or trim color.
- Fencing styles shall require the approval of Declarant prior to any installation.
- All signage erected on a lot must be approved by the Declarant, unless expressly provided for by township ordinance.
- Mailbox location and delivery method shall be of Cluster Box Units at a central location within the plan as approved by Declarant, USPS and Cranberry Township.
- Installation of small satellite dishes/ CATV dishes are permitted with Declarant approval.
- Modifications or additions to landscaping, fencing, and structure, etc. must be in keeping with the original installation and construction of such elements.
- Street trees, lighting, park facilities and furniture are jointly owned by the Condominium Association. These amenities are not to be removed or altered by individual unit owners or residents.
- Garages may not extend beyond the line of the front porch of any home. Uncovered stoops shall not be considered to be a porch.
- No decks, sheds, porches, pools, etc. will be allowed in the PRD 50 foot buffer.

CONDOMINIUM
HOMESITES



HOMESITE PATTERNS

COURTYARD HOMESITE CRITERIA

Homesite Architectural Assurances

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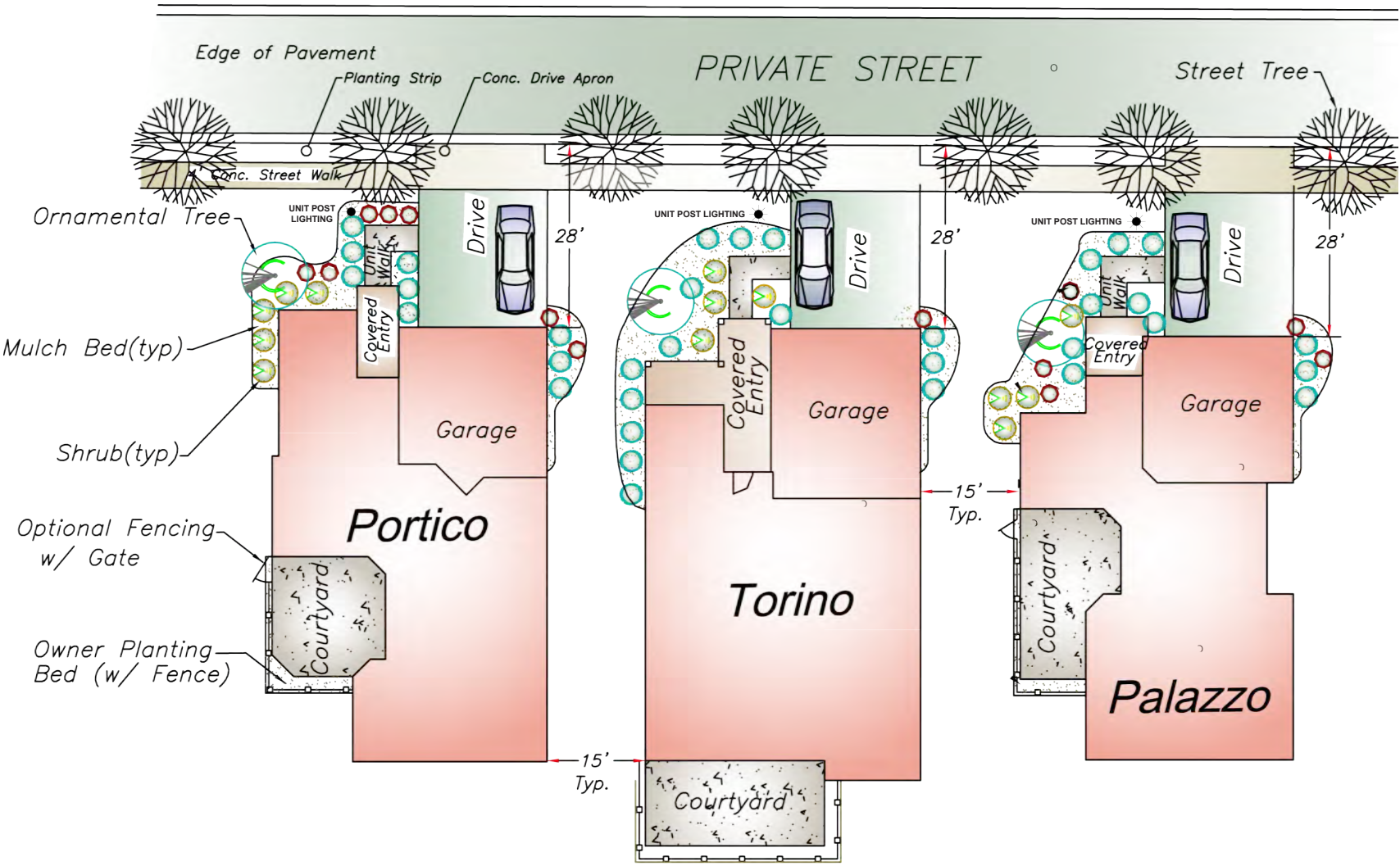
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Unit post lighting shall be installed within 10' of street walk.



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Prior to application for the initial building permit, all architectural drawings and site plan must be submitted to the Architectural Review Committee for compliance review with the Pattern Book as approved. Prior to incorporation of the Architectural Review Committee into the Home Owner's Association, the Architectural Review Committee responsibilities shall be fulfilled by Courtyards at Willow Grove, L.P. Each homesite shall have a distinct and independent review and approval by the Architectural Review Committee. The review shall include determination that the architectural drawings and site plan meet or exceed the minimum requirements including, but not limited to, all lot set-backs, architectural standards, landscape standards, entrance/driveway standards, façade treatments, fencing and wall requirements, screening of mechanical elements and other criteria as applicable.

This application shall be made to Courtyards at Willow Grove, LP prior to any application being made to the Township of Cranberry. Following review and approval of the architectural drawings and site plan, a "Certificate of Review" shall be issued for inclusion with the building permit application. These submittals should be addressed to:

COURTYARDS AT WILLOW GROVE, LP
P.O. Box 449
Mars, Pa.
Contact: Mr. Brett Schultz Phone: 724-625-7800

Courtyard homesites Architectural Criteria

Home exteriors shall consist of complementing brick, stone and vinyl siding veneers

Roof material shall be asphalt shingle.

Trim colors shall generally be white or coordinated with the selected siding color.

Garage doors shall be earth-tone or white and include windows. Garage door color shall be in compliance with the color scheme charts for both courtyard and estate homesites.

THE PALAZZO

ELEVATION A



SIDING

ELEVATION B



SIDING

ELEVATION C



SIDING



SIDING WITH BRICK



SIDING WITH BRICK



SIDING WITH BRICK



SIDING WITH STONE



SIDING WITH STONE



SIDING WITH STONE

THE PORTICO

ELEVATION A



SIDING

ELEVATION B



SIDING

ELEVATION C



SIDING

ELEVATION D



SIDING



SIDING WITH BRICK



SIDING WITH BRICK



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SIDING WITH STONE



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SIDING WITH STONE



SIDING WITH STONE

THE PROMENADE

ELEVATION A



SIDING

ELEVATION B



SIDING

ELEVATION C



SIDING



SIDING WITH BRICK



SIDING WITH BRICK



SIDING WITH BRICK



SIDING WITH STONE



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SIDING WITH STONE

THE CAPRI II

ELEVATION A



SIDING

ELEVATION B



SIDING



SIDING WITH BRICK



SIDING WITH BRICK



SIDING WITH STONE



SIDING WITH STONE

TORINO

ELEVATION A



SIDING

ELEVATION B



SIDING

ELEVATION C



SIDING

ELEVATION D



SIDING



SIDING WITH BRICK



SIDING WITH BRICK



SIDING WITH BRICK



SIDING WITH BRICK



SIDING WITH STONE



SIDING WITH STONE



SIDING WITH STONE



SIDING WITH STONE

VERONA

ELEVATION A



SIDING

ELEVATION B



SIDING

ELEVATION C



SIDING



SIDING WITH BRICK



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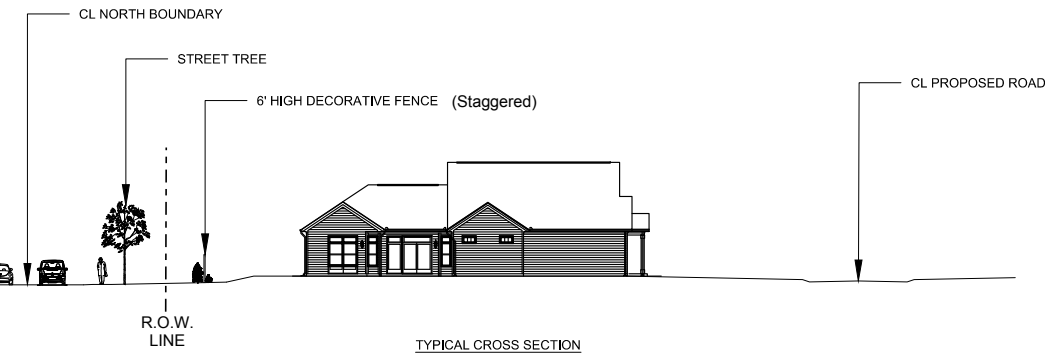
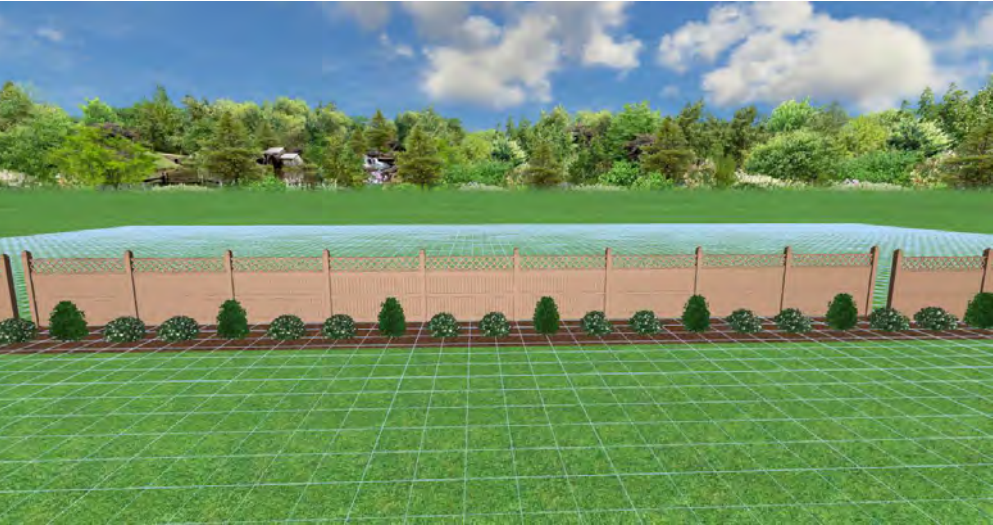


SIDING WITH STONE

WILLOW GROVE FENCE, CLUSTER BOX AND ENTRANCE PLAN

PRIVACY FENCE & LANDSCAPE ALONG NORTH BOUNDARY

Privacy fencing and landscaping along North Boundary to include 6' tall earth tone vinyl, staggered fencing with 3 evergreen and 6 deciduous shrubs 30' on center. All landscaping to be maintained by the unit owner's association.



MAIL STATION EXAMPLE

Mail station to include 26 unit central delivery boxes arranged under the covered structure as shown. Concrete walk areas to be accessible. Down lighting to be provided in the structure ceiling. All materials to match those of the unit architecture.



STREET WALL & ENTRY SIGNAGE EXAMPLE

Representative photographs of entry feature and street wall previously constructed at the Glen at Woodside. Features to include brick columns with metal fencing extending 42' from the plan entrance. Street wall to be constructed on both side of plan entrance.



WILLOW GROVE PARK • NEIGHBORHOOD AMENITIES

Willow Grove Park is to serve as the focal gathering point and terminus of Arbor Trail.

The area of the park is 1/10th acre featuring 30' x 38' improved planting area for resident use.

Improvements contemplated include walking path, graveled areas, raised beds and basic maintenance to insure cleanliness of the garden area.

Owner's will be provided opportunities to raise vegetables, flowers, etc. within the park either as private or community use or consumption.

The planting area shall be bound be brick columns and metal fencing, bordered with a continuous evergreen hedgerow.

Basic maintenance and operations of the planting area shall be performed by the condominium association providing gardening and planting experiences for the residents.

On street parking to the serve the mail station may also be used for park access.

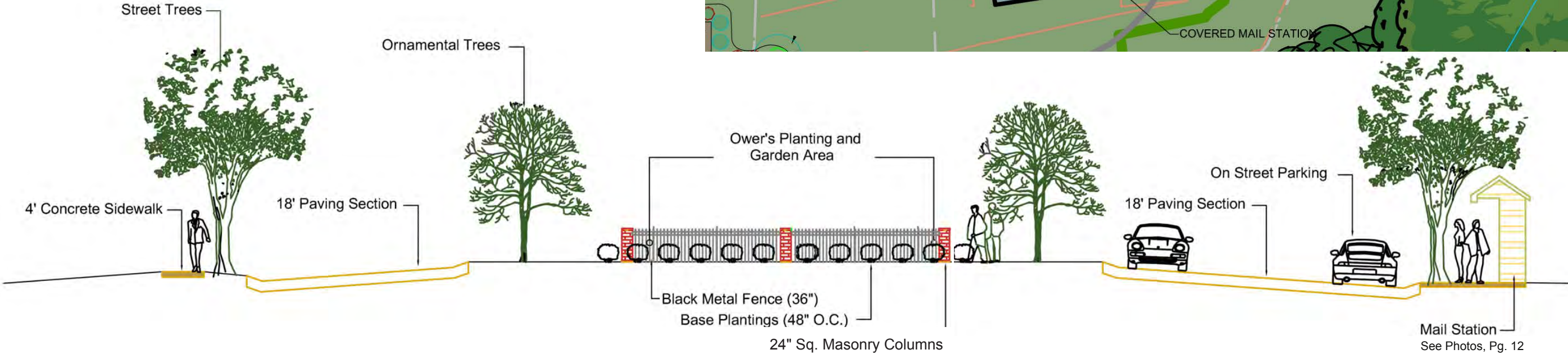
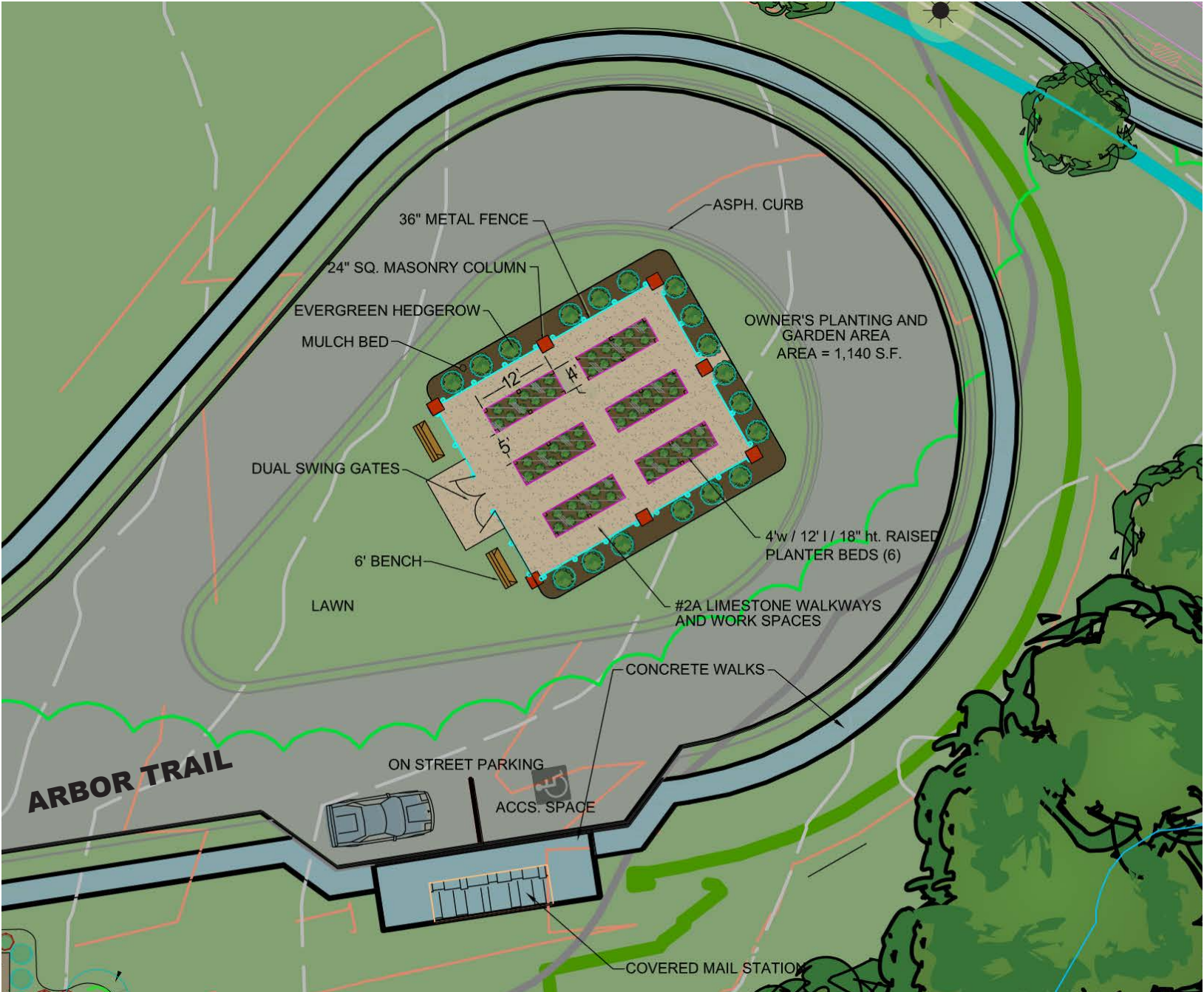
Material Specifications:

Owners Planting Beds/ Walking and Work Surfaces

Wood frame structures 4' wide x 12' long x 18" tall.

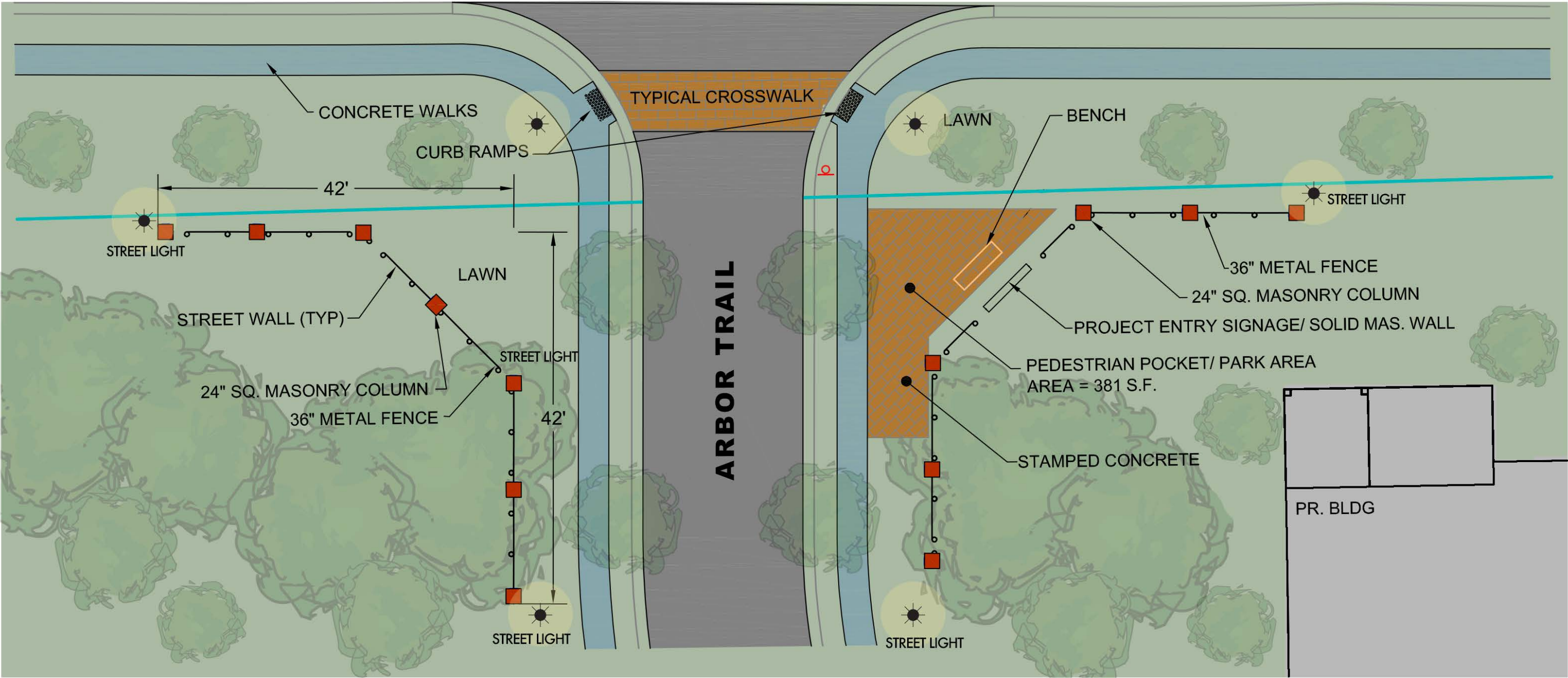
Walking and work surfaces to be #2A limestone or equivalent.

See page 15 for bench details.



NORTH BOUNDARY ENTRANCE

NORTH BOUNDARY ROAD



DETAILS



L1360
RENDEZVOUS CONTOUR
BENCH
6' slotted steel contour bench,
portable/surface mount

211 North Lindbergh Blvd.
St. Louis, MO 63141
888.535.5005 tel
314.754.0835 fax
specify@anovafurnishings.com
anovafurnishings.com

Material
The seat is 71.12" long and is made of 12-gauge slotted steel with a .75" gap slotted pattern. The seat is protected by Fusion Advantage™, a plastisol coating with an average .125" thickness and a high-gloss powder coat.

The bench ends are cast iron and are protected by a fade resistant powder coat finish featuring a state of the art primer proven to prevent rusting. The bench is designed to be portable for flexibility in placement, and the legs have feet that can accommodate surface mounting to prevent movement. Mounting hardware is not included. The capacity of the bench is 200 lbs per linear foot.

Finish
Fusion Advantage is a heat fused plastisol coating that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading. The finish has been tested to the requirements of ASTM E1354 and is determined to be in compliance with California Uniform Fire Code 1103.2.1.4.2.

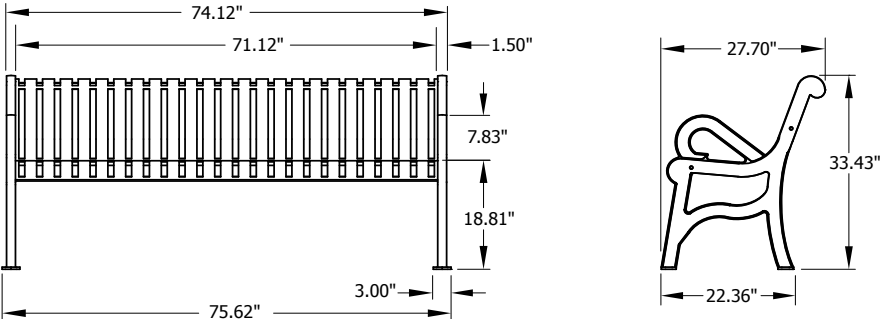
A state of the art primer is applied to all of the under supports, providing extreme rust fighting protection and durability. Treated components exceed the industry standard by 34% in testing by independant sources.

Color
This product is available in the following vibrant colors: Black, Blue, Bronze, Brown, Burgundy, Camel, Charcoal, Evergreen, Gray, Navy, Orange, Purple, Red, Sage, Silver, Teal, Vanilla, White, and Yellow.

Assembly
The bench requires some assembly. Stainless steel assembly hardware is included.

Maintenance
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum based products.

Warranty
20-year limited structural warranty with 7-year finish warranty from the date of purchase; Fusion Advantage further warrants components will not rust, peel, chip, crack, mold or mildew for 7 years.



| Shipping Information | | | | | | | |
|----------------------|-----------------------|------------------------------------|-------------------------|----------------------|------------------------|----------------|----------------|
| Unit Wt. | Unit Shipping Wt. UPS | Unit Shipping Wt. Truck (1+ Units) | Unit Ship Size w/Pallet | Max Units per Pallet | Pallet Wt. (74" x 32") | Total No. Pkgs | Shipping Class |
| 183 lbs | N/A | 218 lbs/unit | 30 cu. ft. | 2 | 100 lbs | 3 | 100 |

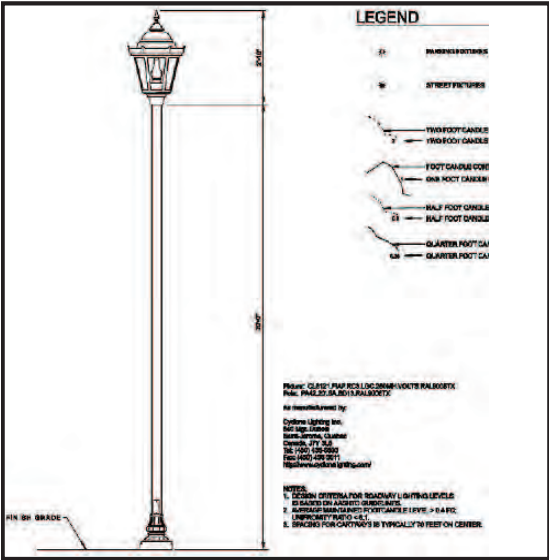
Revised: 09/12/13-8

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*Bench Color RAL 3005

Street Lights

Community Character Development (CCD) Overlay Districts
Cranberry Township - Butler County, PA



Unit Post Lighting

LAMP POST HEAD (IF APPLICABLE)
P5482-31 Textured Black
9-3/8" dia., 21-3/4" ht.
One medium base lamp, 100w max.

EXTERIOR
P5683-31 Textured Black
9-3/8" W., 16" ht.
Extends 11-1/4". H/CTR 3-1/2". One medium base lamp, 100w max.

LAMP POST (IF APPLICABLE) P5391-31 Black
3" dia., 84" ht.

